

BONNYRIGG'S GREENS - SOCIAL HOUSING


CIVIL SERVICES



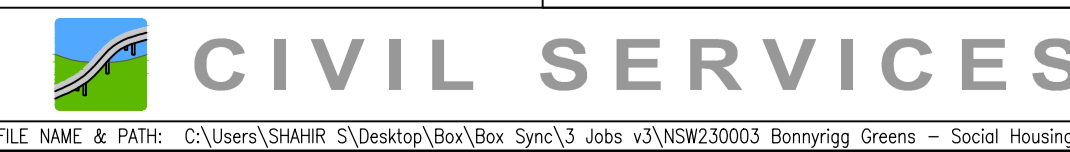
SITE / LOCATION (IMAGE COURTESY OF NEARMAP 05/06/2023)

SHEET SCHEDULE		
REV.	DWG No.	PLAN TITLE
02	C-0000	COVER SHEET
02	C-0001	GENERAL NOTES
02	C-0002	GENERAL ARRANGEMENT PLAN AND LEGEND
02	C-1001	SEDIMENT AND EROSION CONTROL PLAN
02	C-1011	SEDIMENT AND EROSION CONTROL DETAILS AND NOTES
02	C-3001	CIVIL WORKS PLAN
02	C-3111	DRIVEWAY PLAN AND LONGITUDINAL SECTION
02	C-3811	TYPICAL DRIVEWAY DETAIL
02	C-4001	STORMWATER MANAGEMENT PLAN
02	C-4101	STORMWATER CATCHMENT PLAN
02	C-4301	STORMWATER MANAGEMENT DETAILS
02	C-4401	PIT SCHEDULE AND DETAILS
TOTAL NUMBER OF SHEETS		12


ISSUED FOR CONCEPT DESIGN
NOT FOR CONSTRUCTION



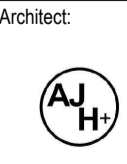
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VIC | NSW | SA | QLD



CIVIL SERVICES



PRESENTED TO:
TRADERS IN PURPLE, GOVERNOR MACQUARIE
TOWER, 1 FARRER PL, SYDNEY, NSW 2000



AJH+ STUDIO 100, HARRIS STREET
SYDNEY, NSW 2010 AUSTRALIA

Issue	Date	Amendment	Int.	App.
01	14-06-2023	ISSUED FOR COORDINATION	FD	AA
02	21-07-2023	ISSUED FOR APPROVAL	FD	AA
03	30-05-2024	ISSUED FOR APPROVAL	FD	AA

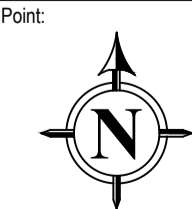
SCALE:

Keyplan:

Project:
**BONNYRIGG'S GREENS -
SOCIAL HOUSING**


Drawing Title:
COVER SHEET

NOTE: SYMBOLS ARE DRAWN IN THE CORRECT POSITION BUT ARE NOT SHOWN TO SCALE.

North Point:

Project No: **NSW230003**

Dwg No:
C-0000

Issue:
03



ORIGINAL SIZE: A1

FILE NAME & PATH: C:\Users\SHAHIR S\Desktop\Box\Box Sync\3 Jobs v3\NSW230003 Bonnyrigg Greens - Social Housing\Drawings\Current Drawings\Civil\Sheets\C-0000.dwg
PLOTTED BY: shahir s
PLOT DATE & TIME: 5/30/2024 9:37 AM

GENERAL NOTES

- REFER TO FAIRFIELD CITY CENTRE DEVELOPMENT CONTROL PLAN 2013 (AMENDMENT 12). ALL WORKS TO BE UNDERTAKEN IN ACCORDANCE WITH THIS CODE UNO.
- ALL DIMENSIONS ARE IN MILLIMETRES AND ALL LEVELS IN m AHD UNO.
 - NO DIMENSIONS ARE TO BE OBTAINED BY SCALING FROM DRAWINGS.
 - THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT'S DRAWINGS AND SPECIFICATIONS.
 - IN PREPARING THESE DRAWINGS WE HAVE RELIED ON THE ACCURACY AND COMPLETENESS OF INFORMATION PROVIDED BY THE UTILITY PROVIDERS AND SURVEYORS REGARDING ONSITE LOCATION OF ASSETS. WE ACCEPT NO LIABILITY FOR ANY ERROR OR OMISSION IN THESE DRAWINGS TO THE EXTENT THE SAME RESULTS FROM ERROR OR OMISSION IN THE INFORMATION PROVIDED.
 - ANY DISCREPANCIES OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE SUPERINTENDENT PRIOR TO PROCEEDING WITH THE WORKS.
 - THE CONTRACTOR SHALL OBTAIN ALL LEVELS FROM ESTABLISHED BENCH MARKS ONLY AS SUPPLIED BY A REGISTERED SURVEYOR.
 - THE CONTRACTOR MUST VERIFY ALL DIMENSIONS, EXISTING LEVELS AND PROPOSED SET-OUT ON SITE PRIOR TO THE COMMENCEMENT OF WORKS. ANY DISCREPANCIES OR OMISSIONS ARE TO BE REPORTED TO THE SUPERINTENDENT.
 - THE SUPERINTENDENT IS TO BE GIVEN 48 HOURS NOTICE OF ANY INSPECTION REQUESTS.
 - ALL EXISTING STRUCTURES, SERVICES AND UTILITIES ARE TO BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS. THE LOCATION OF EXISTING SERVICES SHOWN ON PLANS ARE INDICATIVE ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR CORRECT. THE RESPONSIBILITY FOR LOCATING, AVOIDANCE AND WHERE NECESSARY, TEMPORARY PROTECTION OF THESE EXISTING SERVICES IS THAT OF THE CONTRACTOR. ANY DAMAGE TO EXISTING STRUCTURES, SERVICES AND UTILITIES IS TO BE REPORTED TO THE SUPERINTENDENT IMMEDIATELY.
 - ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND CODES OF PRACTICE EXCEPT WHERE VARIED BY THE DRAWINGS. THE APPLICABLE STANDARDS SHALL BE THE REFERENCED STANDARDS CURRENT AT DATE OF DRAWING ISSUE.
 - WHERE NOTED ON THE DRAWINGS THAT WORKS ARE TO BE CARRIED OUT BY OTHERS, (e.g. ADJUSTMENT OF SERVICES) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CO-ORDINATION OF ANY THIRD PARTY WORKS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILITY OF THE WORKS AND SURROUNDING AREA UNTIL PROJECT COMPLETION AND SHALL ENSURE THAT NO PART OF THE WORKS ARE OVERSTRESSED BY CONSTRUCTION LOADING.
 - ALL TESTING IS TO BE CARRIED OUT BY A NATA REGISTERED LABORATORY. TESTING METHODS ARE TO BE IN ACCORDANCE WITH THE APPLICABLE AUSTRALIAN STANDARD.
 - ON COMPLETION OF THE WORKS THE CONTRACTOR SHALL PROVIDE AN AS-CONSTRUCTED SURVEY OF THE SITE.
 - WHERE PROPRIETARY PRODUCTS ARE SPECIFIED ON THE DRAWING, THE CONTRACTOR MAY PROPOSE AN ALTERNATIVE PRODUCT TO THE SUPERINTENDENT FOR APPROVAL. THE CONTRACTOR SHALL PROVIDE SUFFICIENT INFORMATION TO DEMONSTRATE TO THE SUPERINTENDENT'S SATISFACTION THAT THE ALTERNATIVE PROPOSED IS OF EQUIVALENT QUALITY TO THE PRODUCT SPECIFIED.
 - EXISTING SERVICES SURVEY AND TOPOGRAPHY SURVEY ARE SHOWN AS PER SITE SURVEY COMPLETED BY RHCO RICHARD HOGAN & CO. ON 21ST DEC 2022 (REV A). LOCATIONS ARE INDICATIVE ONLY AND MAY NOT BE EXHAUSTIVE. PRESENCE AND LOCATIONS OF SERVICES TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.

NOTES

- RELATIONSHIP OF IMPROVEMENTS AND DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
- NO SERVICES OR UNDERGROUND SERVICES SEARCH HAS BEEN UNDERTAKEN. SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY & ARE CHARTED AS A GUIDE TO THE POSITION & NATURE OF THE SERVICE. ALL SERVICE AUTHORITIES SHOULD BE CONTACTED PRIOR TO ANY DEVELOPMENT.
- RIDGE, EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY.
- ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
- THE SPREAD & HEIGHT OF EACH TREE IS INDICATIVE ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
- CONTOURS ARE AN INDICATION OF THE TOPOGRAPHY ONLY. SPOT LEVELS SHOULD BE USED IF DETAILED DESIGN IS TO BE UNDERTAKEN.
CONTOUR INTERVALS: MAJOR - N/A, MINOR - N/A.
- THE ELEVATION OF THE TOPO SURVEY ARE ESTIMATION BASED ON THE REFERENCE LOCAL BENCHMARK ONLY. IT IS NOT IN THE AUSTRALIAN HEIGHT DATUM.

SURVEY NOTES

- THIS DETAIL SURVEY IS NOT A 'SURVEY' AS DEFINED BY THE SURVEYING & SPATIAL INFORMATION ACT, 2002.
- DATUM OF LEVELS : AUSTRALIAN HEIGHT DATUM
- ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE BY THE OFFICE OF LAND & PROPERTY INFORMATION (NSW) AND ARE SUBJECT TO FINAL SURVEY.
- NO SEARCH MADE OF LOCATION AND NATURE OF TELEPHONE, ELECTRICITY, SEWER, WATER, GAS AND DRAINAGE RECORDS AT THE RELEVANT AUTHORITY. PRIOR TO ANY CONSTRUCTION THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR
- THE POSITION OF IMPROVEMENTS IN RELATION TO BOUNDARIES
- VISIBLE, ACCESSIBLE SERVICES LOCATED ONLY
- SIGNIFICANT TREES LOCATED ONLY.
- NEIGHBOURING HOUSES, RIDGE AND ROOF POSITIONS ARE
- THIS TITLE BLOCK AND NOTES IS AN INTEGRAL PART OF THIS DRAWING WHICH IS NOT TO BE REMOVED.
- CONTOURS ARE INDICATIVE ONLY. SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- ALL SERVICES LOCATIONS ARE DIAGRAMMATIC ONLY

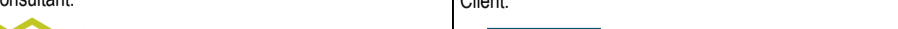



EARTHWORKS

- EW1. EARTHWORKS TO BE CARRIED OUT TO THE SATISFACTION OF THE PCA. UNSOUND MATERIALS NOT IN ACCORDANCE WITH THE SPECIFICATION ARE TO BE REMOVED FROM ROADS AND BUILDING AREAS PRIOR TO FILLING. ALL TESTING OF EARTHWORKS SHALL BE UNDERTAKEN BY THE GEOTECHNICAL INSPECTION AND TESTING AUTHORITY.
- EW2. WHERE THE SLOPE OF THE NATURAL EXCEEDS ONE IN FOUR (1:4), BENCHES ARE TO BE CUT TO PREVENT SLIPPING OF THE PLACED FILL MATERIAL AS REQUIRED BY THE SUPERINTENDENT.
- EW3. THE CONTROL TESTING OF EARTHWORKS BY GEOTECHNICAL INSPECTION & TESTING AUTHORITY SHALL BE IN ACCORDANCE WITH THE GUIDELINES IN AS 3798-2007. WHERE IT IS PROPOSED TO USE TEST METHOD AS 1289.5.8.1-2007 TO DETERMINE THE FIELD DENSITY OF SOIL, A NUCLEAR SURFACE MOISTURE-DENSITY GAUGE IN THE DIRECT TRANSMISSION MODE OF OPERATION SHALL BE USED TO CONFIRM THE RESULTS, AS DIRECTED BY THE PCA. THE GEOTECHNICAL INSPECTION & TESTING AUTHORITY SHALL HAVE A LEVEL 2 RESPONSIBILITY AS DEFINED IN SECTION 8.3 AS 3798-2007, AND AT THE END OF THE WORKS SHALL CERTIFY IN A WRITTEN REPORT THAT THE EARTHWORKS COMPLY WITH THE REQUIREMENTS OD THE SPECIFICATION AND DRAWINGS.
- EW4. ALL SPOIL TO BE DISPOSED OF OFF SITE TO AN APPROVED DISPOSAL SITE.

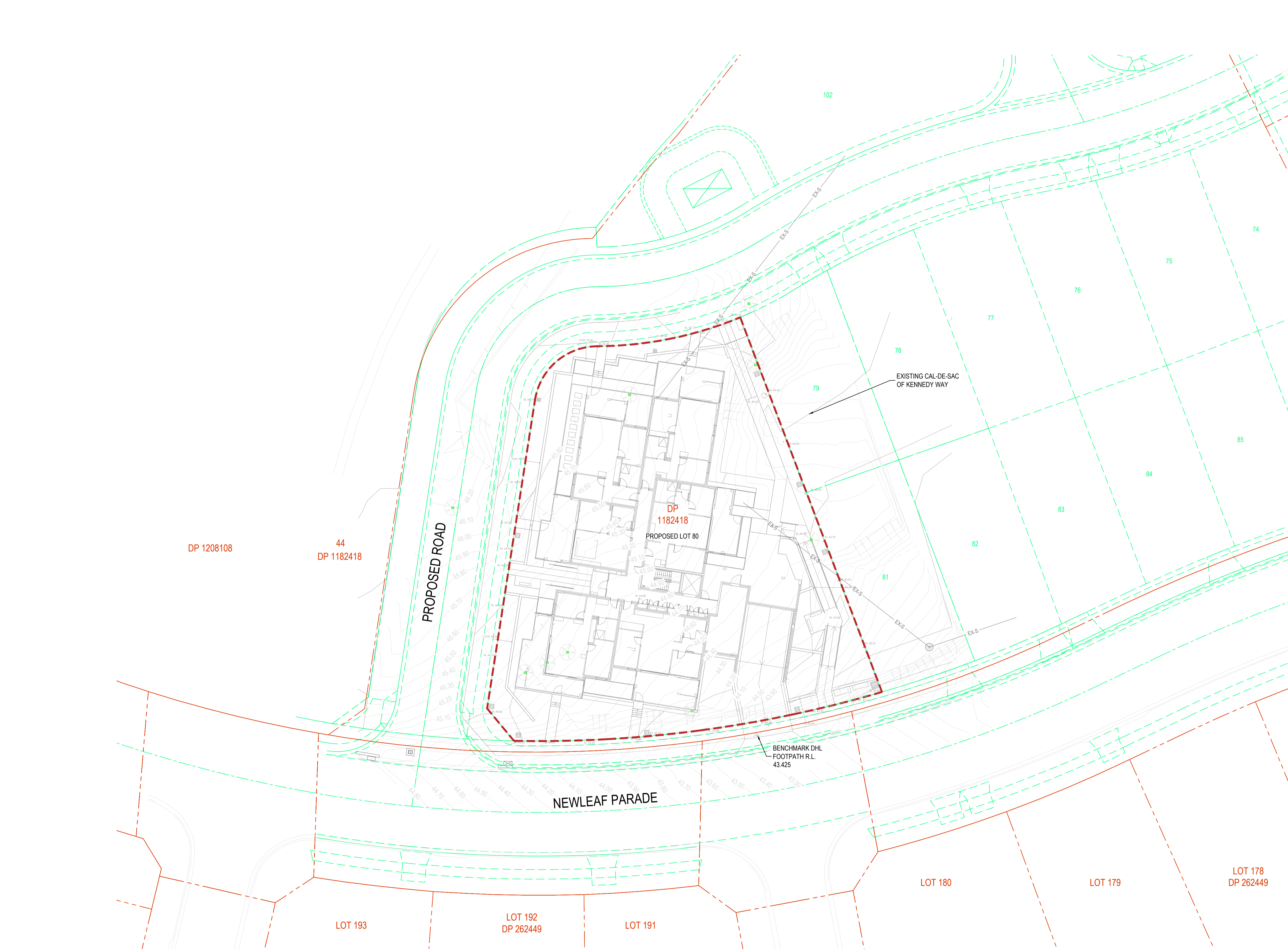
EXISTING SERVICES & FEATURES

- U1. THE CONTRACTOR SHALL ALLOW FOR THE CAPPING OFF, EXCAVATION AND REMOVAL (IF REQUIRED) OF ALL EXISTING SERVICES IN AREAS AFFECTED BY WORKS WITHIN THE CONTRACT AREA OR AS SHOWN ON THE DRAWING UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT.
- U2. THE CONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED.
- U3. PRIOR TO COMMENCEMENT OF ANY WORKS THE CONTRACTOR SHALL GAIN APPROVAL OF HIS PROGRAM FOR THE RELOCATION/CONSTRUCTION OF TEMPORARY SERVICES.
- U4. CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN SUPPLY TO EXISTING BUILDING REMAINING IN OPERATION DURING WORKS TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT. ONCE DIVERSION IS COMPLETE AND COMMISSIONED, THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT.
- U5. INTERRUPTION TO SUPPLY OF EXISTING SERVICES SHALL BE DONE SO AS NOT TO CAUSE ANY INCONVENIENCE TO THE PRINCIPAL CONTRACTOR TO GAIN APPROVAL FROM THE SUPERINTENDENT FOR TIME OF INTERRUPTION.
- U6. EXISTING SERVICES, BUILDINGS, EXTERNAL STRUCTURES AND TREES SHOWN ON THESE DRAWINGS ARE EXISTING FEATURES PRIOR TO ANY DEMOLITION WORKS.
- U7. EXISTING SERVICES UNLESS SHOWN ON SURVEY PLAN HAVE BEEN PLOTTED FROM SERVICES SEARCH PLANS AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE A 'DIAL BEFORE YOU DIG' SEARCH AND TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- U8. ALL BRANCH GAS AND WATER SERVICES UNDER DRIVEWAYS AND BRICK PAVING SHALL BE LOCATED IN Ø80 uPVC SEWER GRADE CONDUITS EXTENDING A MINIMUM OF 500mm BEYOND EDGE OF PAVING.
- U9. CONDUITS TO BE PROVIDED FOR WATER AND ENERGY AUTHORITIES, TELSTRA AND OTHER SERVICES AS REQUIRED.
- U10. THE LOCATIONS OF UNDERGROUND SERVICES SHOWN ON THESE DRAWING'S HAVE BEEN PLOTTED FROM SURVEY AND AUTHORITY INFORMATION. THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES AND MAY NOT BE AS CONSTRUCTED OR ACCURATE.
- U11. INTRAX CONSULTING ENGINEERS CANNOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS, ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN ARISING FROM ANY CAUSE WHATSOEVER.
- U12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- U13. CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ON SITE INCLUDING HAND EXCAVATION WHERE NECESSARY.
- U14. CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.
- U15. TELSTRA - DUTY OF CARE NOTE:
TELSTRA'S PLANS SHOW ONLY THE PRESENCE OF CABLES AND PLANT. THEY ONLY SHOW THEIR POSITION RELATIVE TO ROAD BOUNDARIES, PROPERTY FENCES ETC. AT THE TIME OF INSTALLATION AND TELSTRA DOES NOT WARRANT OR UPHOLD THAT SUCH PLANS ARE ACCURATE THEREAFTER DUE TO CHANGES THAT MAY OCCUR OVER TIME. DO NOT ASSUME DEPTH OR ALIGNMENT OF CABLES OR PLANT AS THESE VARY SIGNIFICANTLY.
THE CONTRACTOR HAS A DUTY OF CARE WHEN EXCAVATING NEAR TELSTRA CABLES AND PLANT. BEFORE USING MACHINE EXCAVATORS TELSTRA PLANT MUST FIRST BE PHYSICALLY EXPOSED BY SOFT DIG POT HOLING TO IDENTIFY IT'S LOCATION. TELSTRA WILL SEEK COMPENSATION FOR DAMAGES CAUSED TO IT'S PROPERTY AND LOSSES CAUSED TO TELSTRA AND IT'S CUSTOMERS.
- U16. A MINIMUM OF 30 DAYS PRIOR TO COMMENCEMENT OF EXCAVATION WORKS THE SUBCONTRACTOR MUST CONTACT DIAL BEFORE YOU DIG.

ISSUED FOR CONCEPT DESIGN NOT FOR CONSTRUCTION

Services Consultant:		Client:		Architect:		Issue		Date		Amendment		Int.		App.		SCALE:		Keyplan:		Project:		Drawing Title:		North Point:			
<div><div></div><div>Suite 6.02, Level 6, 89 York Street, SYDNEY NSW 2000 Ph (02) 9262 3400 www.intrax.com.au Intrax Consulting Group VIC NSW SA QLD</div></div>		<div><div></div><div>PRESENTED TO: TRADER'S IN PURPLE, GOVERNOR MACQUARIE TOWER, 1 FARRER PL, SYDNEY, NSW 2000</div></div>		<div><div></div><div>AJH+ STUDIO 100, HARRIS STREET SYDNEY, NSW 2010 AUSTRALIA</div></div>		01		14-06-2023		ISSUED FOR COORDINATION		FD		AA								BONNYRIGG'S GREENS - SOCIAL HOUSING		GENERAL NOTES		<div><div></div><div>Project No: NSW230003</div></div>	
						02		21-07-2023		ISSUED FOR APPROVAL		FD		AA								NOTE: SYMBOLS ARE DRAWN IN THE CORRECT POSITION BUT ARE NOT SHOWN TO SCALE.		Dwg No: C-0001			
						03		30-05-2024		ISSUED FOR APPROVAL		FD		AA										Issue: 03			

ORIGINAL SIZE: A1



LEGEND

	EXISTING	PROPOSED
UTILITY - ELECTRICITY	E	E
GAS	EX-G	G
SEWER	EX-S	S
WATER	EX-PW	PW
TELECOMS	T	T
CONTOUR LINE & LABEL	20.0	20.0
CADASTRAL BOUNDARY AND LOT NUMBER	DP #	
FUTURE WORKS BY OTHERS		
PROPERTY BOUNDARY		
EXISTING BUILDING		
PROPOSED ARCHITECTURAL WORKS		
ROAD TYPE WITH CONTROL LINE, NAME & CHAINAGE	ROAD # HO	ROAD # HO
KERB & GUTTER OR KERB ONLY TO COUNCIL SPECIFICATIONS	KERB	K&G KO
DRIVEWAY		
FOOTPATH TO COUNCIL SPECIFICATIONS		
STORMWATER DRAINAGE PIPE AND STRUCTURE		
FUTURE STORMWATER WORK BY EXTERNAL PARTY		
SUBSOIL DRAIN		
PROPOSED OVERLAND FLOW PATH		
RETAINING WALL		
BATTER		
TREE - TO BE RETAINED		
TREE - TO BE REMOVED		
UTILITY - TO BE REMOVED: GAS SEWER WATER TELECOMS NBN OPTIC FIBRE ELECTRICITY		
LANDSCAPING		

DP 1208108

44
DP 1182418

PROPOSED ROAD

DP
1182418

PROPOSED LOT 80

SP

NEWLEAF PARADE

INDICATIVE STOCKPILE LOCATION TO SUIT
CONSTRUCTION PHASE

INDICATIVE STORMWATER SUMP LOCATION
TO SUIT CONSTRUCTION PHASING

BENCHMARK DHL
FOOTPATH R.L. 43.425

WASHDOWN FACILITY AT SITE ENTRY/EXITS TO
DISCHARGE RUNOFF TO STORMWATER SUMP
FOR WATER QUALITY TREATMENT/TESTING

PROVIDE STABILISED
SITE ACCESS

LEGEND

CONTOURS

10.0 20.0

STABILISED SITE ACCESS

SP

POSSIBLE STOCKPILE LOCATION

SP

PROPERTY BOUNDARY

SP

SEDIMENT FENCE

SP

SANDBAG KERB INLET
SEDIMENT TRAP

SP

MESH GRAVEL
INLET FILTER

SP

STORMWATER
RISING MAIN

SP

OVERLAND
FLOW ARROW

SP

WATERTAP & HOSE

SP

FUTURE WORKS BY
EXTERNAL PARTY

SP

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Architect:
AJH
AJH+ STUDIO 100, HARRIS STREET
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01	14-06-2023	ISSUED FOR COORDINATION	FD	AA
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SCALE:
0 2 4 8 12 16 20
REDUCTION RATIO 1:200 @ A1 & 1:400 @ A3

Keyplan:

Project:
BONNYRIGG'S GREENS -
SOCIAL HOUSING

Drawing Title:
SEDIMENT AND EROSION
CONTROL PLAN

North Point:
N

ISO 9001:2015
Quality
Management

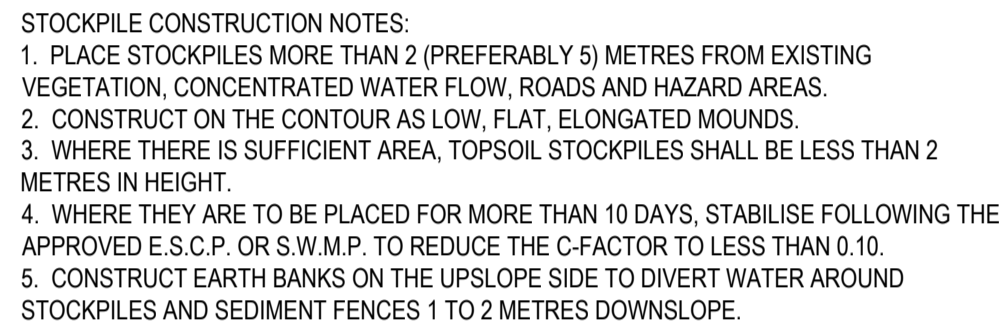
Project No: NSW230003

Dwg No:
C-1001

Issue:
03

FILE NAME & PATH: C:\Users\SHAHIR S\Desktop\Box Sync\Jobs v3\NSW230003 Bonnyrigg Greens - Social Housing\Drawings\Current Drawings\Civil\Sheets\C-1001.dwg PLOTTED BY: shahir s PLOT DATE & TIME: 5/30/2024 10:09 AM

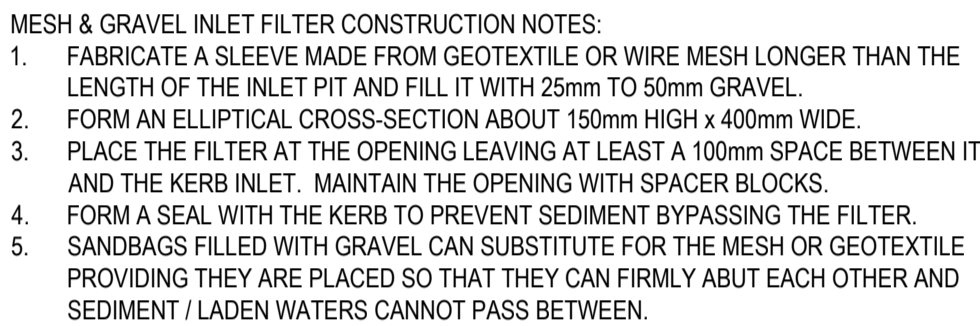
ORIGINAL SIZE: A1



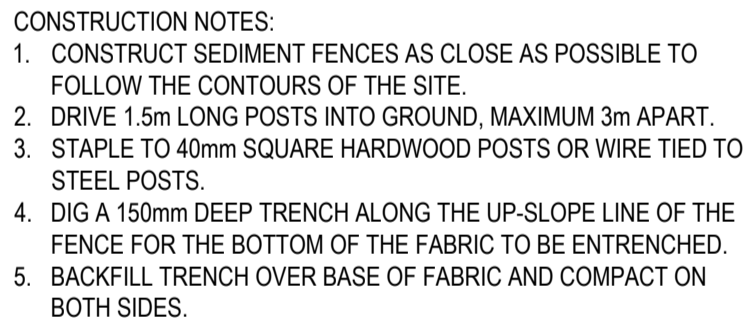
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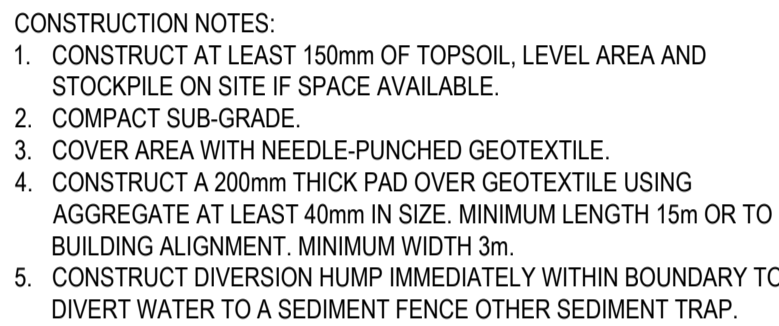
SCALE: NTS



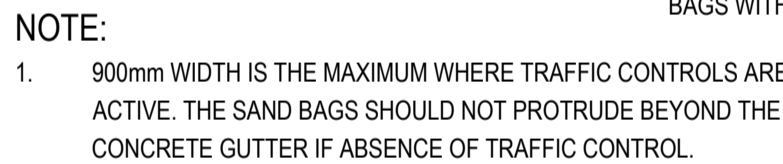
SCALE: NTS



SCALE: NTS



SCALE: NTS



SCALE: NTS

1. FOR GENERAL NOTES AND LEGEND, REFER TO DRAWING NO C-0001.
2. REFER TO DRAWING C-1001 FOR SEDIMENT AND EROSION CONTROL PLAN

1. THE EROSION AND SEDIMENT CONTROL PLAN ADDRESSES THE MANAGEMENT OF ON SITE STORMWATER RUNOFF DURING CONSTRUCTION. IT DOES NOT ADDRESS BASEMENT EXCAVATION, GROUND WATER MANAGEMENT/ DEWATERING REQUIREMENTS. IT IS TO BE READ IN CONJUNCTION WITH ALL OTHER GEOTECHNICAL, RAP, ENVIRONMENTAL AND STRUCTURAL DOCUMENTATION.
2. THE PLAN IS CONCEPT ONLY. SITE CONDITIONS AND PHASING OF WORKS ARE LIKELY TO INFLUENCE CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AMENDING THE SCHEME TO SUIT CONDITIONS AT THE TIME OF WORKS AND CONSTRUCTION PROGRAM.
3. THE CONTRACTOR IS TO INFORM ALL BUILDERS AND SUBCONTRACTORS OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO ROADWAYS AND WATERWAYS.
4. THE CONTRACTOR IS TO IMPLEMENT AN APPROPRIATE ENVIRONMENTAL MANAGEMENT PLAN INCLUDING SPILL/ POLLUTION CONTAINMENT AND TREATMENT PROCEDURES. THE CONTRACTOR IS TO ENSURE THAT ANY SPILL/POLLUTION COLLECTED IN THE STORMWATER SUMP IS IMMEDIATELY TREATED.
5. WATER SHALL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.
6. ALL SOIL AND WATER CONTROL MEASURES ARE TO BE PROVIDED IN ACCORDANCE WITH THE LANDCOM SOIL AND CONSTRUCTION VOLUME1, MARCH 2004, (BLUE BOOK) AND THE NSW PROTECTION OF THE ENVIRONMENT OPERATIONS ACT 1997
7. STOCKPILE LOCATIONS TO BE DEPENDENT ON THE LOAD OUT LOCATION AND THE POINT OF EXCAVATION. STOCKPILE LOCATIONS TO BE MARKED ON THE SITE PLAN AT THE SITE OFFICE AS THE PROJECT PROGRESSES.
8. SHOULD ANY MATERIAL BE WASHED FROM EQUIPMENT, SUCH AS CONCRETE SLURRIES FROM CONCRETE TRUCKS, A WASHING/CLEANING AREA WITH APPROPRIATE SEDIMENT CONTROL MEASURES IS TO BE SETUP ON A FLAT AREA OF THE SITE.
9. THE CONTRACTOR SHALL MAINTAIN A LOG BOOK DETAILING:
 - RECORDS OF ALL RAINFALL (I.E. DAILY RAINFALL)
 - CONDITION OF SOIL AND WATER MANAGEMENT CONTROL MEASURES ANY ADDITIONAL REMEDIAL WORKS REQUIRED
10. THE LOG BOOK SHALL BE MAINTAINED ON A WEEKLY BASIS AND BE MADE AVAILABLE TO ANY AUTHORISED PERSON UPON REQUEST. THE ORIGINAL LOG BOOK SHALL BE ISSUED TO THE PROJECT MANAGER AT THE COMPLETION OF THE WORKS.
11. DUST CONTROL MEASURES SHALL BE IMPLEMENTED CONTINUOUSLY DURING CONSTRUCTION WORKS TO THE SATISFACTION OF THE SUPERINTENDENT.
12. CONTROL MEASURES AFFECTED BY WORKS ARE TO BE RE-ESTABLISHED PRIOR TO THE COMPLETION OF EACH DAYS WORK.
13. ALL CONTROL MEASURES ARE TO BE CLEANED AND MAINTAINED AT LEAST WEEKLY OR AFTER EVERY RAINFALL EVENT.
14. FOLLOWING THE COMPLETION AND RESTORATION OF SITE, THE CONTRACTOR IS TO REMOVE ALL CONTROL MEASURES.
15. PERMANENT DRAINAGE STRUCTURES INCLUDING PIPES AND PITS ARE TO BE HANDLED OVER IN A CLEAN CONDITION AT THE COMPLETION OF THE CONTRACT MAINTENANCE PERIOD.
16. PRIOR TO DISCHARGING COLLECTED WATER TO INCLUDING THOSE IDENTIFIED IN THE RAP, IT IS TO BE TESTED TO ENSURE COMPLIANCE WITH WATER QUALITY REQUIREMENTS. SHOULD TESTING GIVE RESULTS THAT DO NOT COMPLY WITH THE ABOVE TREATMENT MEASURES (SUCH AS APPLICATION OF A pH NEUTRAL FLUOCLOR) AND SUBSEQUENT RETESTING ARE REQUIRED. DOCUMENTARY RESULTS OF WATER QUALITY TESTING PRIOR TO DEWATERING ARE TO BE KEPT. A FILE IS TO BE KEPT ON SITE OF ALL WATER TESTING/DEWATERING EVENTS. FOLLOWING DEWATERING THE SUMP IS TO BE CLEARED OF SEDIMENT AND THE GEOTEXTILE ON THE PUMP WELL IS TO BE REPLACED.
17. ALL STORMWATER PITS TO BE COVERED OR DROP INLET SEDIMENT TRAPS SHALL BE PROVIDED. KERB INLET TRAPS ARE TO BE INSTALLED AFTER COMPLETION OF PAVING.
18. ALL SERVICE TRENCHES MUST BE FILLED IN AND COMPACTED IMMEDIATELY AFTER SERVICES HAVE BEEN LAID.
19. ROADS AND FOOTPATHS AFFECTED BY THE WORKS MUST BE SWEEP CLEAN DAILY. SOILS MUST BE RETAINED BEHIND CONTROL DEVICES.
20. CONTRACTOR MUST ENSURE THAT ALL VEHICLES LEAVING SITE ARE HOSED DOWN (OR SIMILAR) TO REMOVE SEDIMENT.
21. CONTRACTOR SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO THE LOW SIDE OF THE WORKS. THE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (EG. HUMES PROPEX SILT STOP) STANDING 300mm ABOVE GROUND & EXTENDING 150mm BELOW GROUND.
22. EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.
23. NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.
24. GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.
25. CONSTRUCTION ENTRY/EXIT SHALL BE VIA THE LOCATION NOTED ON THE DRAWING. CONTRACTOR SHALL ENSURE ALL DRAPABLE SOIL & SEDIMENT IS REMOVED PRIOR TO CONSTRUCTION TRAFFIC EXITING SITE. CONTRACTOR SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING & LEAVING THE SITE DO SO IN A FORWARD DIRECTION.

DP 1208108

44
DP 1182418

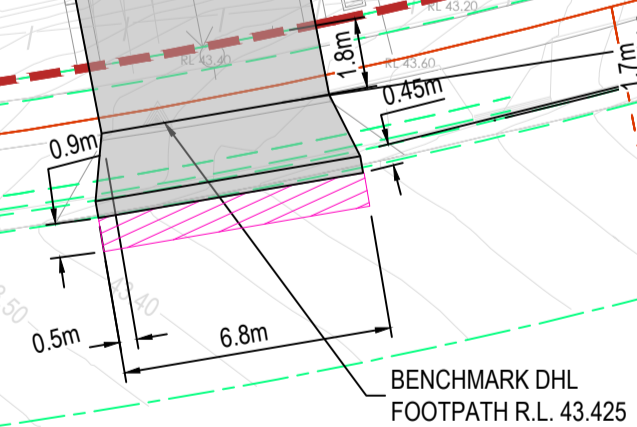
PROPOSED ROAD

DP
1182418

PROPOSED LOT 80

RL 44.80

NEWLEAF PARADE



LEGEND

	EXISTING	PROPOSED
ROAD TYPE WITH CONTROL LINE, NAME & CHAINAGE		
KERB & GUTTER OR ROLL KERB TO COUNCIL SPECIFICATIONS		
GRANITE KERB ONLY TO COUNCIL SPECIFICATION		
DRIVEWAY		
FOOTPATH		
FUTURE WORKS BY EXTERNAL PARTY		
TREE - TO BE RETAINED		
TREE - TO BE REMOVED		
LANDSCAPING		
PAVEMENT RESTORATION		
CONTOUR LINE AND LABEL		

ISSUED FOR CONCEPT DESIGN
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CIVIL SERVICES

Client:

PRESENTED TO:

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Architect:

AJH+ STUDIO 100, HARRIS STREET SYDNEY, NSW 2010 AUSTRALIA

Issue	Date	Amendment	Int.	App.
01	14-06-2023	ISSUED FOR COORDINATION	FD	AA
02	21-07-2023	ISSUED FOR APPROVAL	FD	AA
03	30-05-2024	ISSUED FOR APPROVAL	FD	AA

SCALE:

REDUCTION RATIO 1:200 @ A1 & 1:400 @ A3

Keyplan:

Project:

BONNYRIGG'S GREENS - SOCIAL HOUSING

Drawing Title:

CIVIL WORKS PLAN

North Point:

Project No: NSW230003

Dwg No:

C-3001

Issue:

03

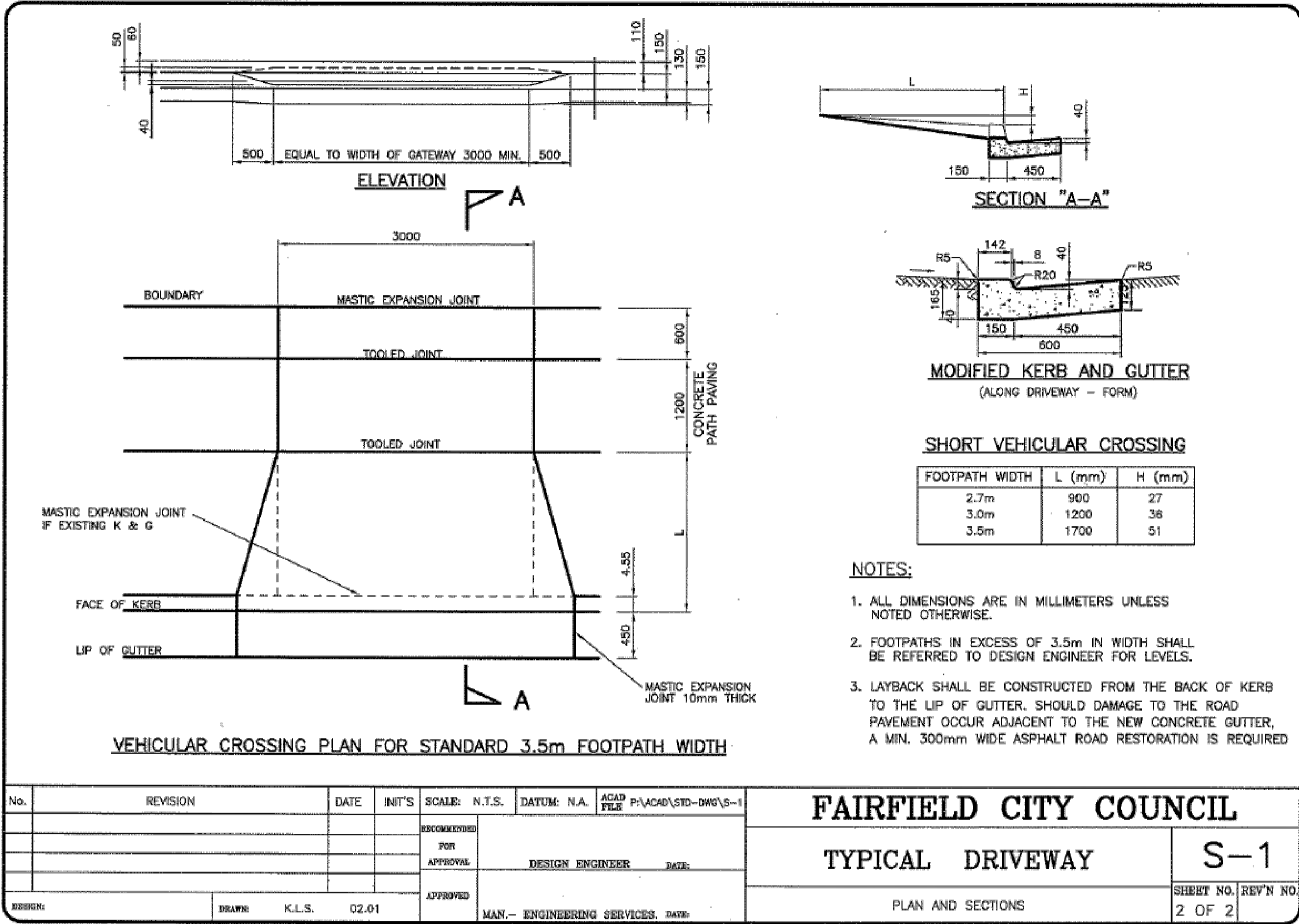
NOTE: SYMBOLS ARE DRAWN IN THE CORRECT POSITION BUT ARE NOT SHOWN TO SCALE.

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PLOTTED BY: shahir s

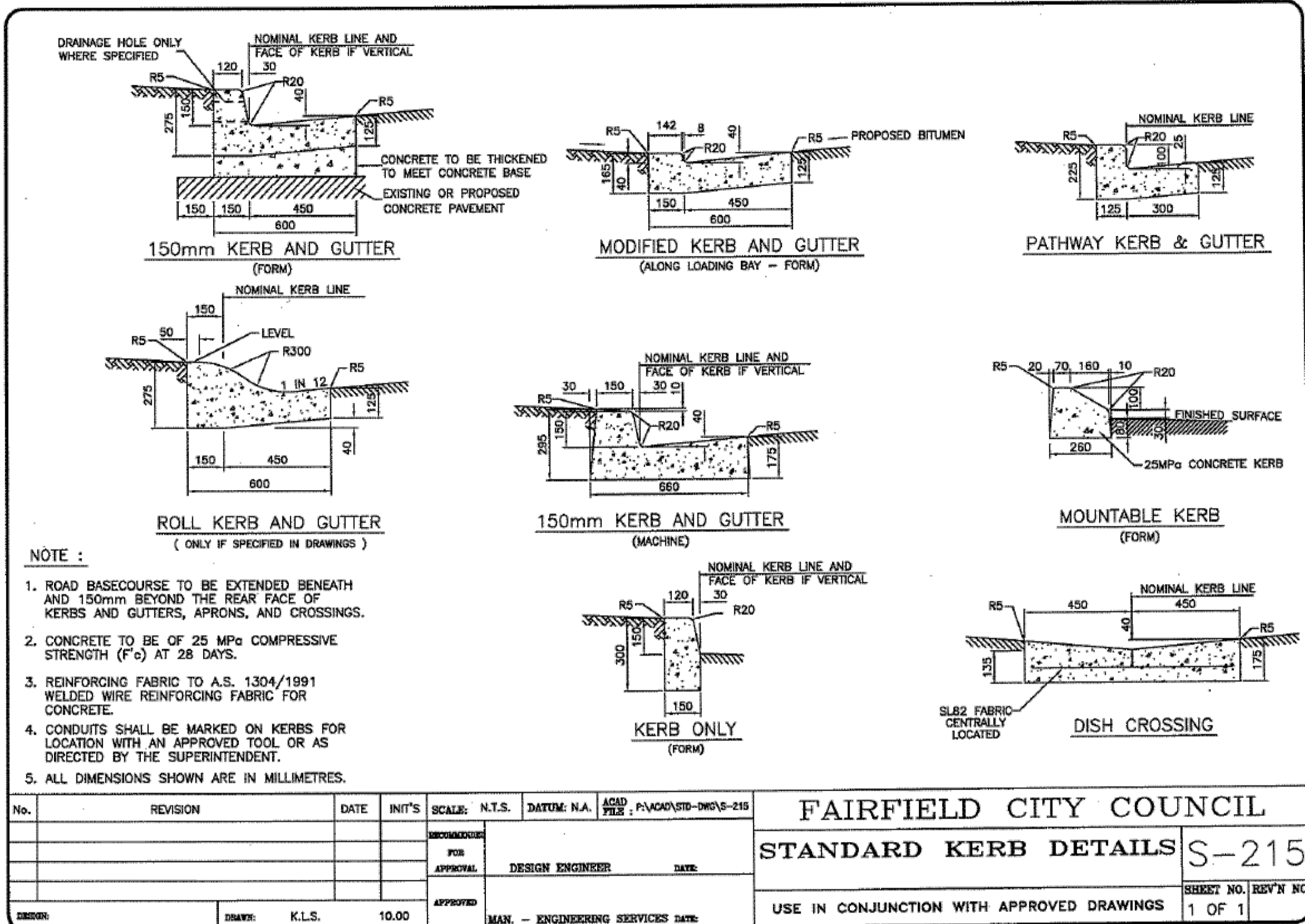
PLOT DATE & TIME: 5/31/2024 8:41 AM

ORIGINAL SIZE: A1



Typical Driveway: S-1

Fairfield City Council
Policy 4-515 Specification for Roadwork and Drainage ©



Standard kerb details: S-215

Fairfield City Council
Policy 4-515 Specification for Roadwork and Drainage ©

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DP 1208108

44
DP 1182418

PROPOSED ROAD

DP
1182418

PROPOSED LOT 80

NEWLEAF PARADE

RWT TANK
5KL MIN TO BASIX REQUIREMENT
FOR IRRIGATION PURPOSE ONLY
RWT TO HAVE OVERFLOW
DISCHARGE TO THE STORMWATER
PIT

PROPOSED NEW KERB
INLET PIT UNDER THE MAIN
SUBDIVISION MASTER PLAN

PIT 09/04
KERB INLET PIT

LEGEND

CONTOURS

10.0 20.0

PROPOSED OVERLAND FLOW PATH

10.0 20.0

SPOON DRAIN

SPO

PROPOSED DRAINAGE
PIPE & STRUCTURE

PROPOSED DRAINAGE
PIPE & STRUCTURE

FUTURE DRAINAGE AND PIPE
STRUCTURE BY OTHERS

FUTURE DRAINAGE AND PIPE
STRUCTURE BY OTHERS

PROPOSED RAIN
WATER TANK

PROPOSED RAIN
WATER TANK

PROPOSED RETAINING WALL

PROPOSED RETAINING WALL

OVERLAND FLOW ARROW

OVERLAND FLOW ARROW

PROPOSED TRENCH GRATE

PROPOSED TRENCH GRATE

DISH DRAIN

DISH DRAIN

FUTURE WORKS BY OTHERS

FUTURE WORKS BY OTHERS

OSD NOTE:

INDIVIDUAL OSD TANK IS NOT REQUIRED.
THE RETENTION SYSTEM HAS BEEN
CATERED IN THE SUBDIVISION PLAN

Services Consultant:

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TOWER, 1 FARRER PL, SYDNEY, NSW 2000**

Architect:

**AJH+ STUDIO 100, HARRIS STREET
SYDNEY, NSW 2010 AUSTRALIA**

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03	30-05-2024	ISSUED FOR APPROVAL	FD	AA

SCALE:

0 2 4 8 12 16 20

REDUCTION RATIO 1:200 @ A1 & 1:400 @ A3

Keyplan:

BONNYRIGG'S GREENS -
SOCIAL HOUSING

Drawing Title:

**STORMWATER
MANAGEMENT PLAN**

NOTE: SYMBOLS ARE DRAWN IN THE CORRECT POSITION BUT ARE NOT
SHOWN TO SCALE.

North Point:

NSW230003

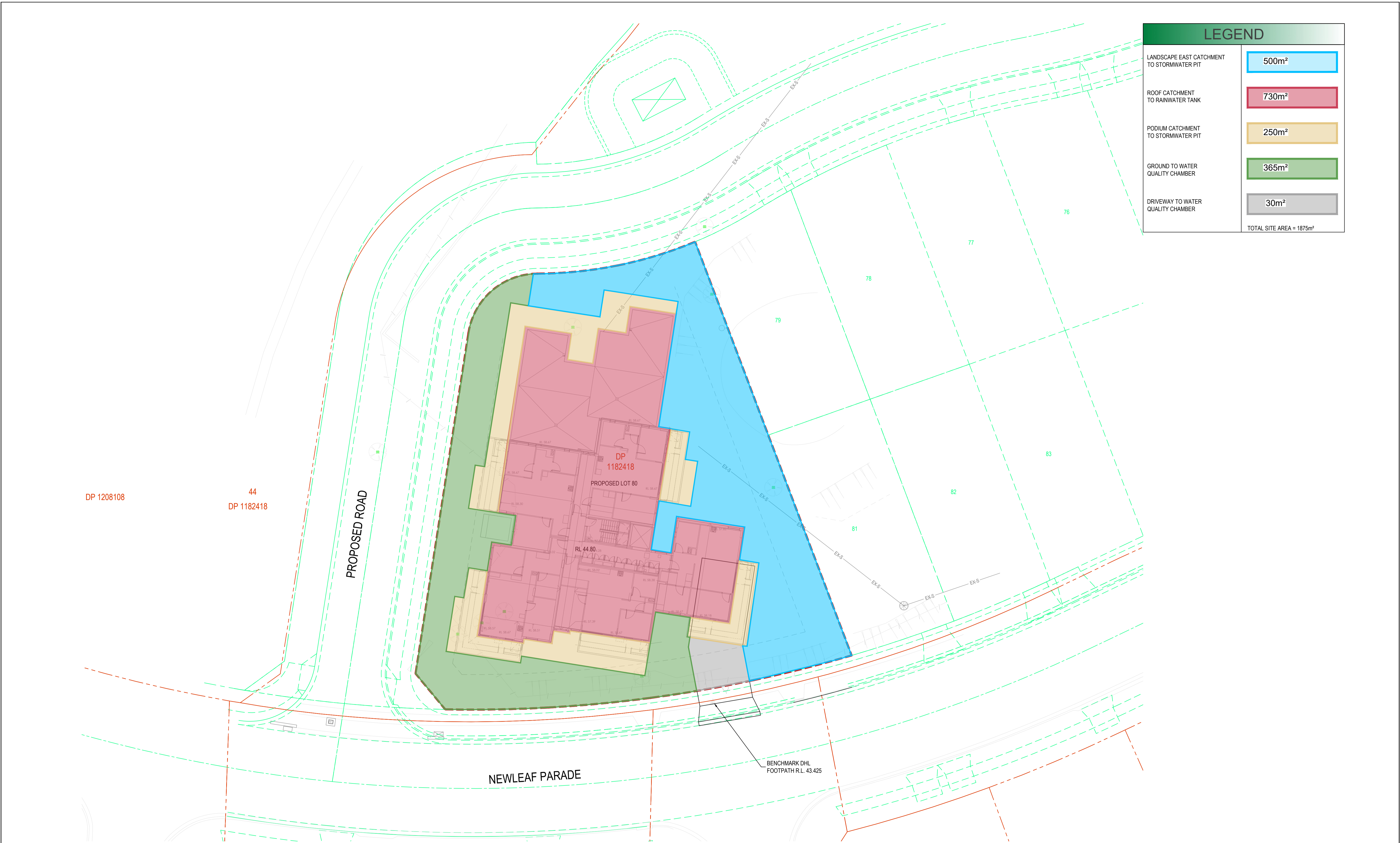
Dwg No:
C-4001

Issue:
03

FILE NAME & PATH: C:\Users\SHAHIR S\Desktop\Box Sync\Jobs v3\NSW230003 Bonnyrigg Greens - Social Housing\Drawings\Current Drawings\Civil\Sheets\C-4001.dwg

PLOTTED BY: shahir s

PLOT DATE & TIME: 5/31/2024 9:10 AM



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CIVIL SERVICES

Client:

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Architect:

AJH+ STUDIO 100, HARRIS STREET SYDNEY, NSW 2010 AUSTRALIA

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03	30-05-2024	ISSUED FOR APPROVAL	FD	AA

SCALE:

REDUCTION RATIO 1:200 @ A1 & 1:400 @ A3

Keyplan:

Project:

BONNYRIGG'S GREENS - SOCIAL HOUSING

Drawing Title:

STORMWATER CATCHMENT PLAN

NOTE: SYMBOLS ARE DRAWN IN THE CORRECT POSITION BUT ARE NOT SHOWN TO SCALE.

North Point:

Project No: NSW230003

Dwg No: C-4101

Issue: 03

FILE NAME & PATH: C:\Users\SHAHIR S\Desktop\Box\Box Sync\J Jobs v3\NSW230003 Bonnyrigg Greens - Social Housing\Drawings\Current Drawings\Civil\Sheets\C-4101.dwg

PLOTTED BY: shahir s

PLOT DATE & TIME: 5/31/2024 9:53 AM

ORIGINAL SIZE: A1

